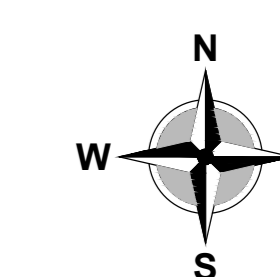


1:1000



- Denotes garage can be built on boundary.
  - D Denotes double driveway location.
  - S Denotes single driveway location
  - Single Storey Setback  
(distance from boundary or tie line shown)
  - Two Storey Setback  
(distance from boundary or tie line shown)
  - M Denotes Potential Mews
  - MD Medium Density residential is acceptable
  - Dwelling must address both road frontages or both road and reserve
  - - - Denotes NO vehicular access
- Dwellings on allotments 154-156, 168-178, 49-56 must have primary frontage to the reserve

Existing buildings to be demolished

No. of proposed allotments 188  
Total area 17.19ha  
Reserve Area (12.5%) 2.146ha  
Length of new roads 2200m  
Contour interval 0.2m  
Datum AHD

Road pavements shown are indicative only.  
\*\*Not to be used for detailed engineering design.\*\*  
Dimensions and areas are subject to survey.

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<b>Glenn Ian Hordacre</b> LICENSED SURVEYOR	
REF: A154416	
DWG NO.: A154416BEP REV K	
REVISION: K	FRADD ROAD
DEL: 11.11.2019	ANGLE VALE

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