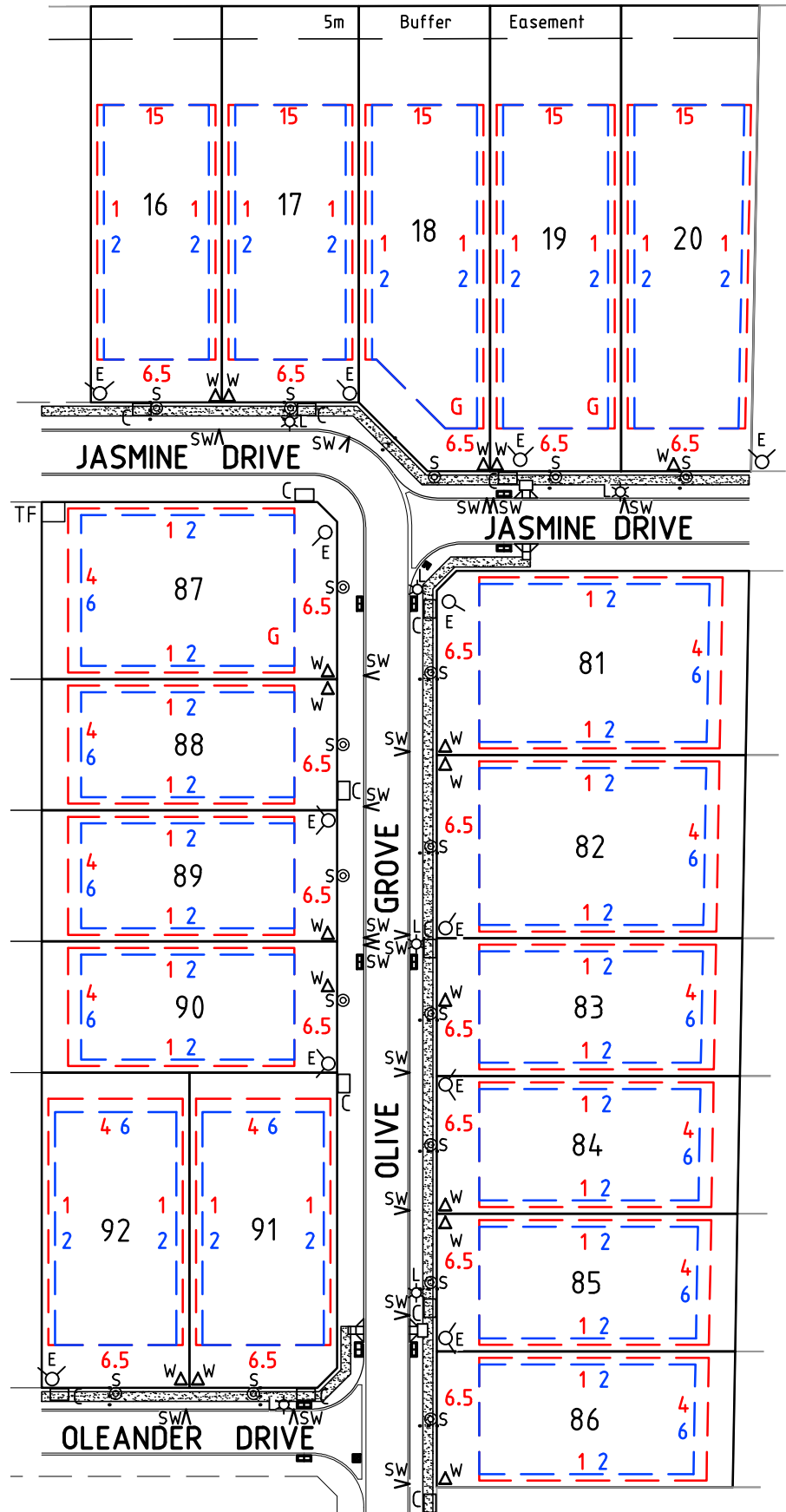




**SHARPE ROAD**



**LEGEND**

- 1 1  
4 **SINGLE STOREY SETBACK**  
MAXIMUM BUILDING ENVELOPE & SETBACK DISTANCES FROM BOUNDARY.  
NOTE: COUNCIL PLANNING SETBACK REQUIREMENTS ARE TO BE READ IN CONJUNCTION WITH SHOWN DIMENSIONS.
- 1.5 2  
6 **TWO STOREY SETBACK**  
MAXIMUM BUILDING ENVELOPE & SETBACK DISTANCES FROM BOUNDARY.  
NOTE: COUNCIL PLANNING SETBACK REQUIREMENTS ARE TO BE READ IN CONJUNCTION WITH SHOWN DIMENSIONS.
- 5 5  
20 **OUTBUILDING SETBACK**  
MAXIMUM BUILDING ENVELOPE & SETBACK DISTANCES FROM BOUNDARY.  
NOTE: COUNCIL PLANNING SETBACK REQUIREMENTS ARE TO BE READ IN CONJUNCTION WITH SHOWN DIMENSIONS.
- G** NOMINATED REQUIRED GARAGE LOCATION
- S** ⊙ SEWER CONNECTION
- W** △ WATER CONNECTION
- E** ⊙ SA POWER NETWORKS PILLAR / ELECTRICAL CONNECTION
- L** ⊙ SA POWER NETWORKS LIGHT POLE
- TF** SA POWER NETWORKS TRANSFORMER LOCATION
- SW** △ STORMWATER KERB OUTLET
- STORMWATER JUNCTION BOX
- ▭ STORMWATER SIDE ENTRY PIT
- ▴ PRAM RAMP
- ▨ FOOTPATH
- COMMUNICATIONS PIT
- ⋯ IRRIGATION CONDUIT UNDER FOOTPATH

**NOTES**

- THIS PLAN IS TO BE USED FOR MARKETING PURPOSES ONLY. EASEMENTS SHOWN ARE SUBJECT TO CHANGE AT THE DISCRETION OF STATUTORY AUTHORITIES AND/OR THE DEVELOPER.
- ALL DATA SHOWN HEREON IS SUBJECT TO APPROVAL BY THE REGISTRAR GENERAL'S DEPARTMENT, COUNCIL & RELATIVE SERVICE AUTHORITIES. ROAD LAYOUT AND ASSOCIATED INFRASTRUCTURE IS DERIVED FROM DESIGN INFORMATION AND SUBJECT TO CHANGE.
- ENVELOPES ARE INDICATIVE SHOWING MINIMUM SET BACKS ONLY AT THE TIME OF PREPARATION. COUNCIL AND DEVELOPMENT PLAN REQUIREMENTS MUST ALSO BE ADHERED TO.
- MINIMUM PRIVATE OPEN SPACE AND MAXIMUM SITE COVERAGE PER COUNCIL & DESIGN GUIDELINES APPLY.

