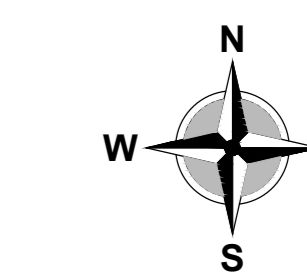


1:1000



- Denotes garage can be built on boundary.
 - D Denotes double driveway location.
 - S Denotes single driveway location
 - Single Storey Setback (distance from boundary or tie line shown)
 - Two Storey Setback (distance from boundary or tie line shown)
 - M Denotes Potential Mews
 - MD Medium Density residential is acceptable
 - Dwelling must address both road frontages or both road and reserve
 - Denotes NO vehicular access
- Dwellings on allotments 154-156, 168-178, 49-56 must have primary frontage to the reserve

Existing buildings to be demolished

No. of proposed allotments	188
Total area	17.19ha
Reserve Area	(12.5%)2.146ha
Length of new roads	2200m
Contour interval	0.2m
Datum	AHD

Road pavements shown are indicative only.
Not to be used for detailed engineering design.

Dimensions and areas are subject to survey.

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Glenn Ian Hordacre LICENSED SURVEYOR	
REF: A154416	
DWG NO.: A154416BEP REV G	
REVISION: G	FRADD ROAD
DEL 28.08.2018	ANGLE VALE

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