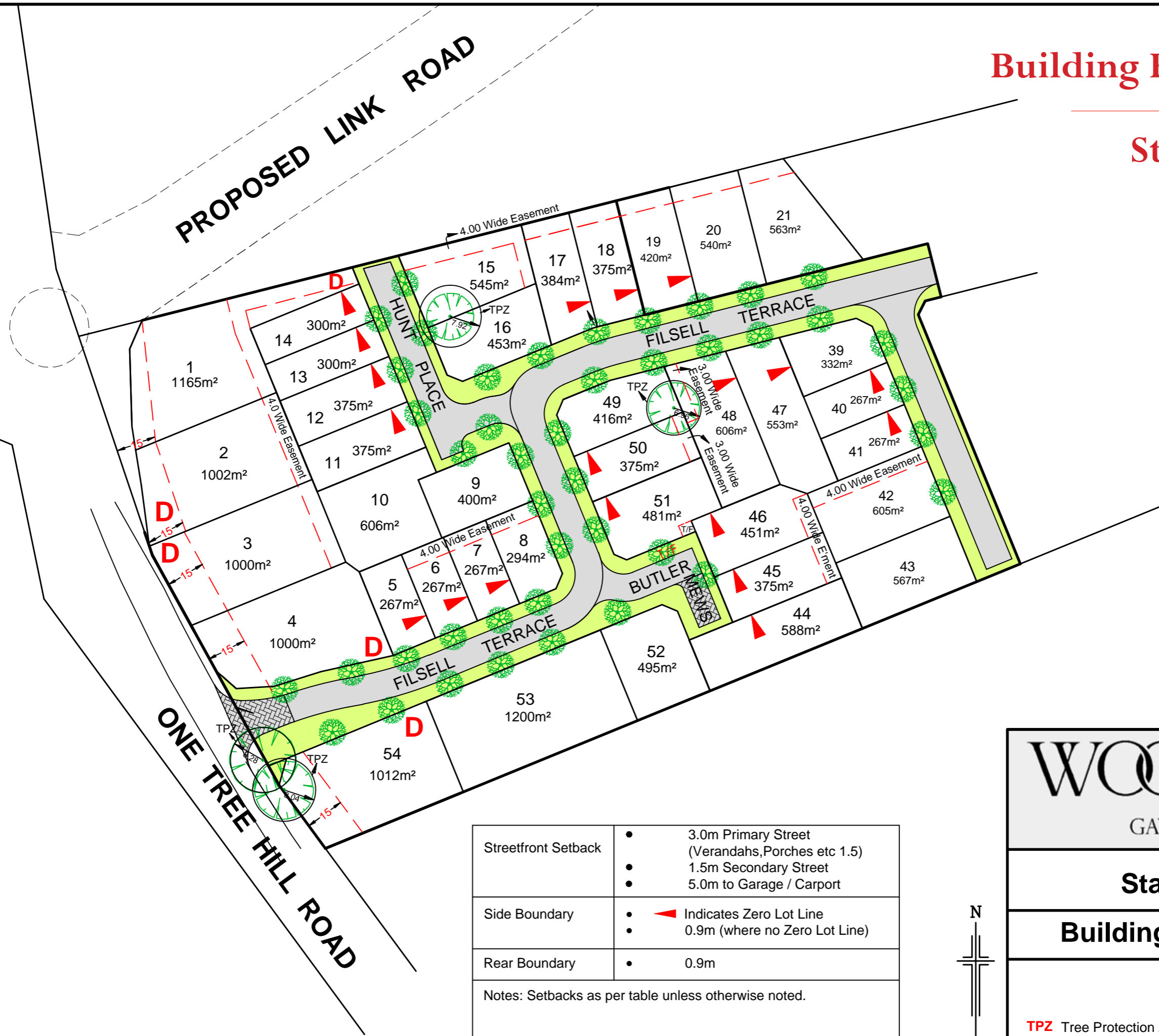


Building Envelope Plan

Stage 1



Future Local Centre

Streetfront Setback	<ul style="list-style-type: none"> • 3.0m Primary Street (Verandahs, Porches etc 1.5) • 1.5m Secondary Street • 5.0m to Garage / Carport
Side Boundary	<ul style="list-style-type: none"> • Indicates Zero Lot Line • 0.9m (where no Zero Lot Line)
Rear Boundary	<ul style="list-style-type: none"> • 0.9m
Notes: Setbacks as per table unless otherwise noted.	

WOODVALE
GAWLER SOUTH

Stages 1 & 1A

Building Envelope Plan



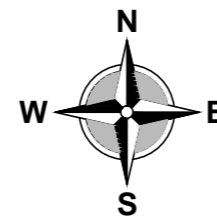
- TPZ Tree Protection Zone
- Zero Lot Line
- Mandatory Driveway Access
- Transformer

branford planning+design

JULY 2015 (L)

Building Envelope Plan

Stage 2



Streetfront Setback	<ul style="list-style-type: none"> • 3.0m Primary Street (Verandahs, Porches etc 1.5) • 1.5m Secondary Street • 5.0m to Garage / Carport
Side Boundary	<ul style="list-style-type: none"> • Indicates Zero Lot Line • 0.9m (where no Zero Lot Line)
Rear Boundary	<ul style="list-style-type: none"> • 0.9m
Notes: Setbacks as per table unless otherwise noted.	

WOODVALE
GAWLER SOUTH

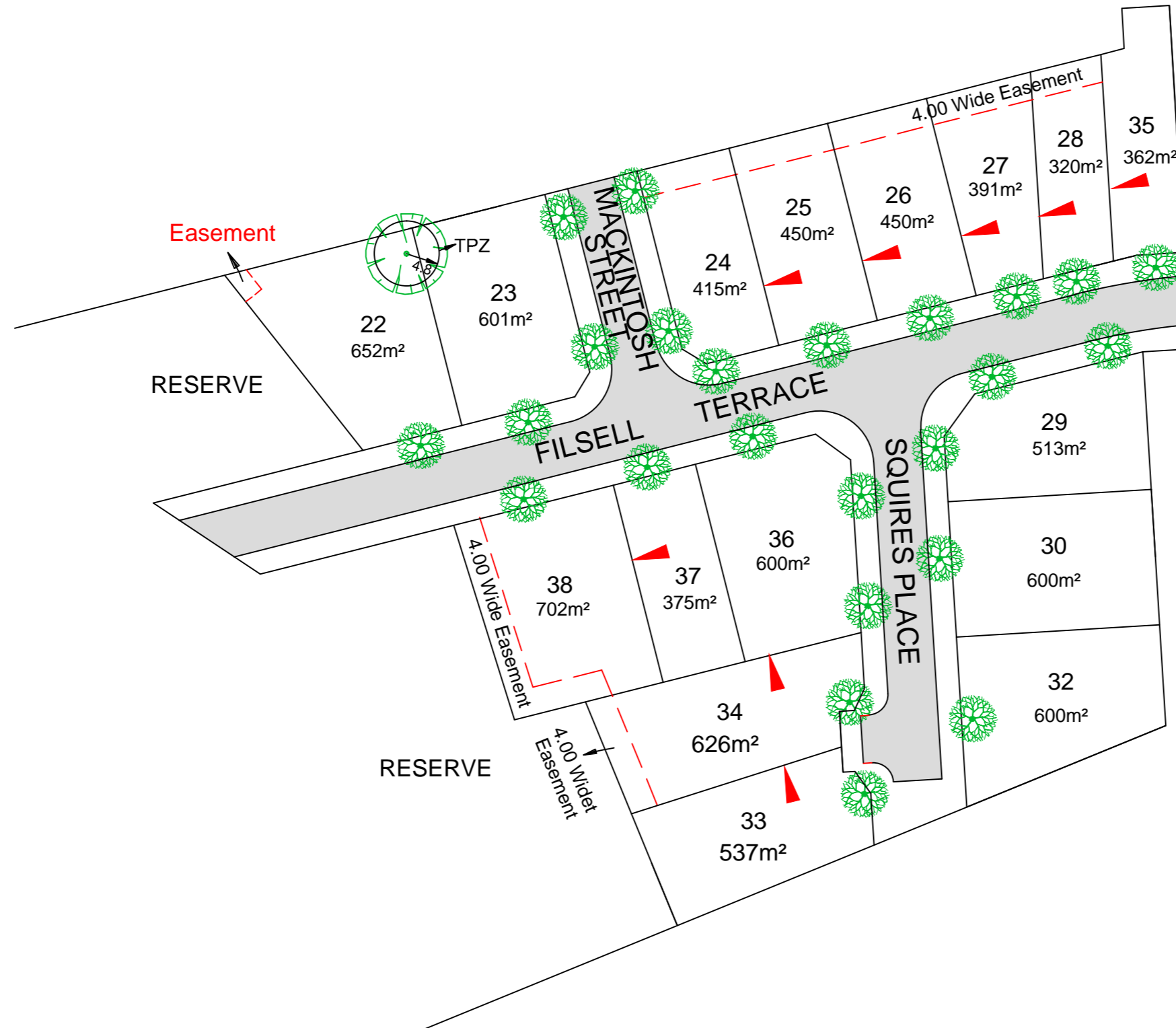
Stage 2
Building Envelope Plan

Zero Lot Line
 Mandatory Driveway Access
 10m Setback from Centre of Pipeline
 Transformer

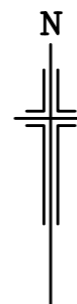
JULY 2015 (G)

Building Envelope Plan

Stage 3



Streetfront Setback	<ul style="list-style-type: none"> • 3.0m Primary Street (Verandahs, Porches etc 1.5) • 1.5m Secondary Street • 5.0m to Garage / Carport
Side Boundary	<ul style="list-style-type: none"> • Indicates Zero Lot Line • 0.9m (where no Zero Lot Line)
Rear Boundary	<ul style="list-style-type: none"> • 0.9m
Notes: Setbacks as per table unless otherwise noted.	



WOODVALE
GAWLER SOUTH

Stage 3

Building Envelope Plan

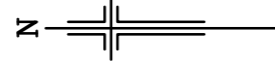
branford planning+design

TPZ Tree Protection Zone
 Zero Lot Line
D Mandatory Driveway Access
T/F Transformer

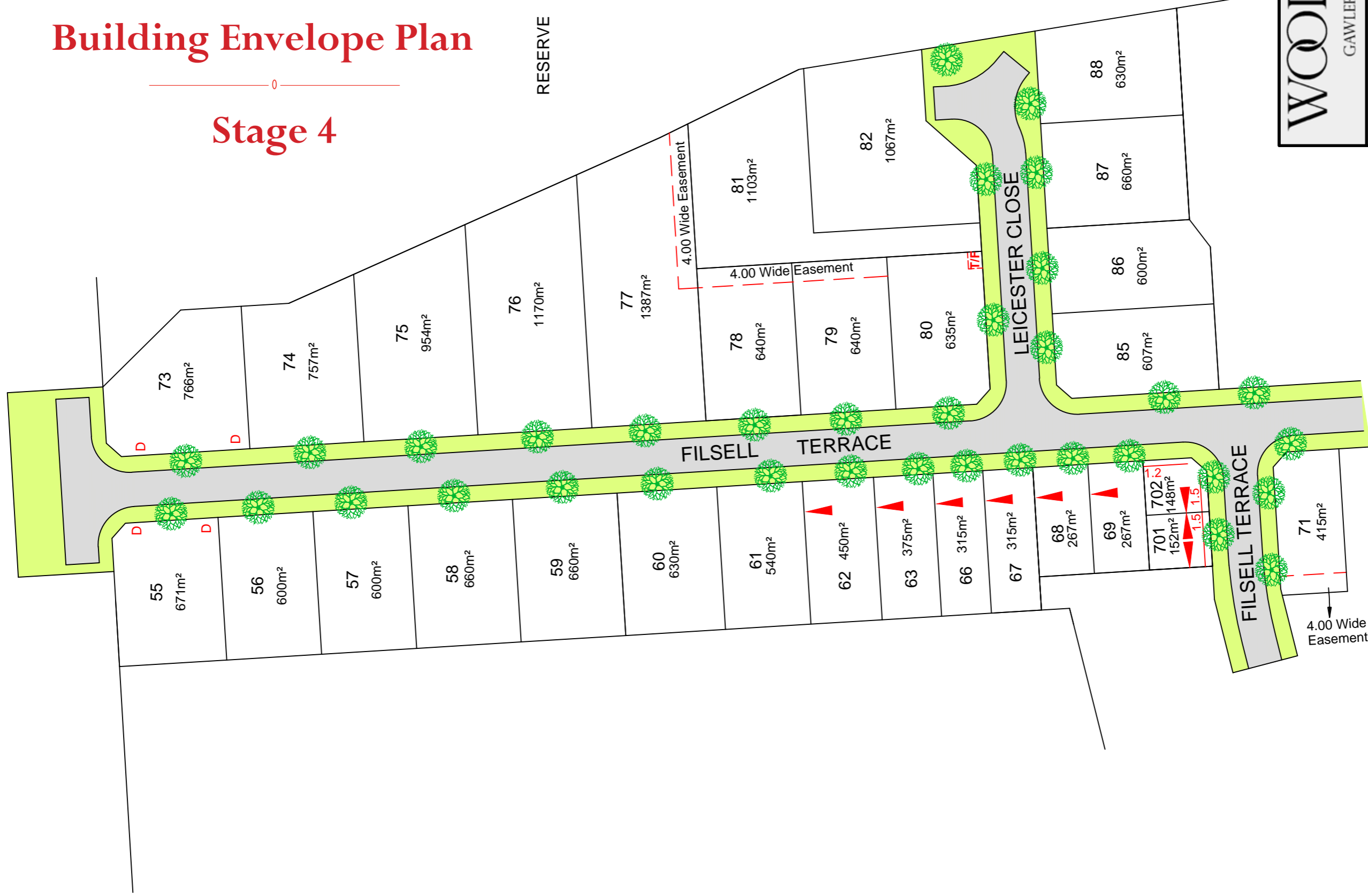
February 2018 (G)

Building Envelope Plan

Stage 4



RESERVE



Streetfront Setback	<ul style="list-style-type: none"> • 3.0m Primary Street (Verandahs, Porches etc 1.5) • 1.5m Secondary Street • 5.0m to Garage / Carport
Side Boundary	<ul style="list-style-type: none"> • Indicates Zero Lot Line 0.9m (where no Zero Lot Line)
Rear Boundary	<ul style="list-style-type: none"> • 0.9m

Notes: Setbacks as per table unless otherwise noted.

WOODVALE
GAWLER SOUTH

Stage 4

Building Envelope Plan

branford planning + design

TPZ Tree Protection Zone
 Zero Lot Line
 Mandatory Driveway Access
 Transformer

February 2018 (B)